



RESIDENTIAL DECK SUBMITTAL GUIDE

PERMIT REQUIREMENTS

Building Permits are required for all new or replacement decks with a raised floor surface. Unattached decks that sit directly on the ground do not require a building permit.

Zoning Permits are required for all new decks. Replacement decks that are identical in size to the original do not require a zoning permit. A detailed sketch plan (see example) must be submitted for us to make a determination.

PERMIT APPLICATION

Complete all applicable sections of the building and zoning applications. Any areas left blank by applicant will result in delay of issuance of permits. Submit applications along with building and site plans. Also, if a contractor is being used, a certificate of worker's compensation insurance must be submitted along with the applications. If a contractor has no employees, submit the notarized affidavit of exemption that is provided by the township.

PERMIT FEES

Building permit fee is \$54.00 per deck
Zoning Permit fee is \$50.00 per deck
Reinspection fee is \$50.00 per reinspection

BUILDING PLAN REQUIREMENTS

- Submit township provided sketch form with your site plan drawn on it. A detailed **sample** site plan has been provided by the township for your reference. Your submittal should look like the sample.
- Submit two (2) copies of construction plans. A sample deck plan has been provided by the township. Your construction plans should look like the example. They should be drawn to scale and have the same level of detail as the sample plan.
- Construction drawings must be drawn to scale and show actual dimensions of proposed deck. Drawings should be of sufficient clarity and show items listed below.
 - Pier size, depth and spacing
 - Deck post size
 - Beam size and span
 - Detail of how beam will be attached to posts
 - Ledger board and how it is to be anchored to primary structure
 - Flashing detail
 - Floor joist size, spacing and span
 - Decking – type & thickness
 - Stair location and general stair details (refer to handout)
 - Guardrail and handrail (refer to handout)

GENERAL CONSTRUCTION NOTES

- Deck lumber shall be pressure treated to prevent decay.
- Fasteners, hardware and flashing must be compatible with lumber being used.
- Decks can not be attached to cantilevered sections of house, brick or stone veneer or chimneys.
- If deck is to have hot tub, it must be on plans and the deck must be designed to support additional weight. (Please note: a professional design may be required).
- If deck project involves any electrical work, it shall be inspected by township electrical inspector.

BUILDING INSPECTIONS

- It is permit holders responsibility to schedule the following inspections.
 - Piers – Before concrete is poured
 - Framing – Before decking is on, after flashing is installed
 - Final – After all handrails, guards, etc., are complete

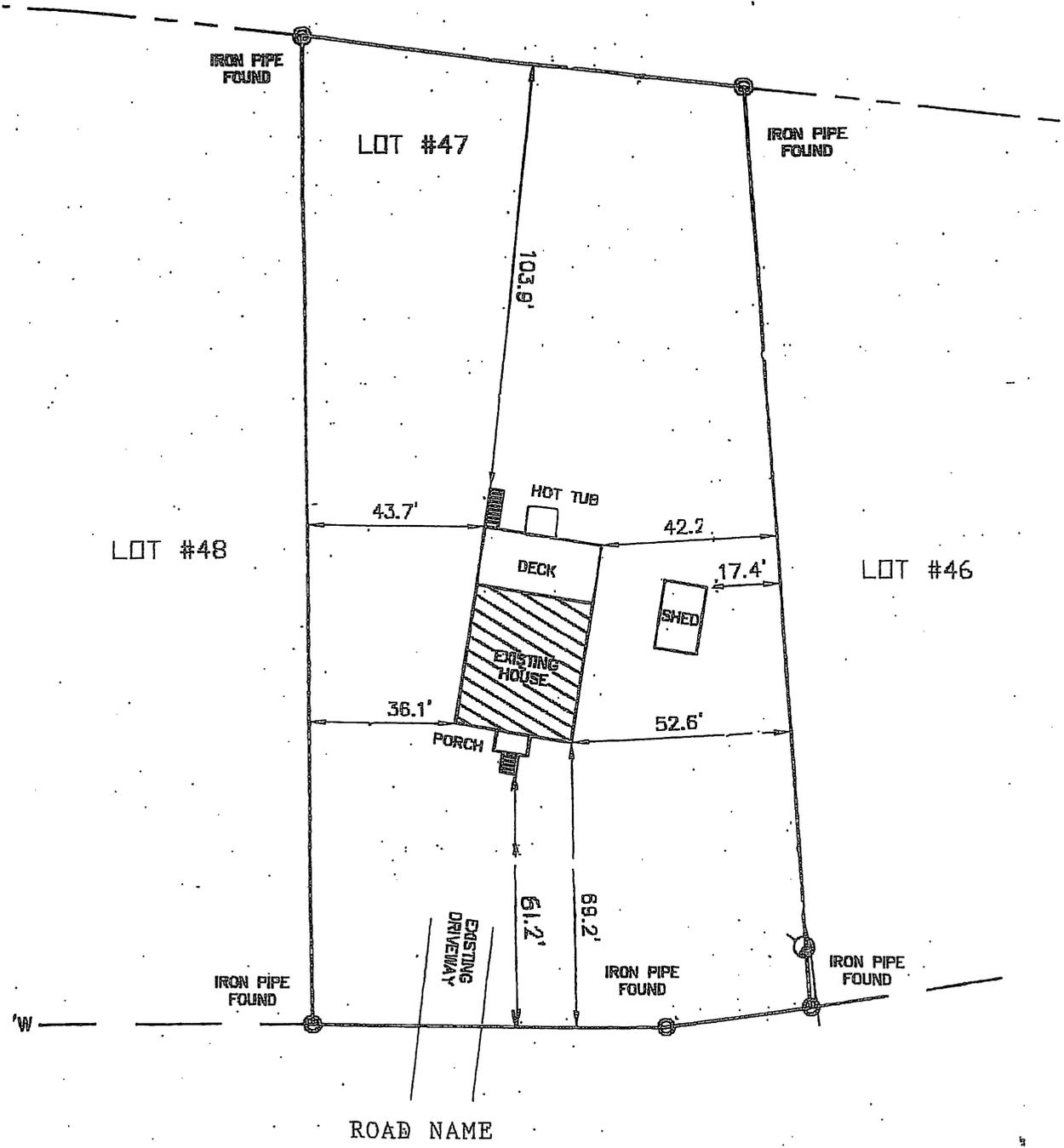
ZONING SITE PLAN REQUIREMENTS

- Location of all property lines must be identified
- Location of all existing buildings and improvements
- Location of proposed deck(s)
- Exact measurements from deck to all property lines- All stair projections **must** be included in the measurements from property lines
- Location of any streams, bodies of water, and wet lands must be identified
- Location of any on lot septic systems
- See attached site plan example
- **Please note:** Failure to complete requirements of the zoning application will result in delays of the issuance of this permit

ZONING ON-SITE REQUIREMENTS

- Physically mark location of all property lines
- Deck must be physically staked out so that measurements can be verified based on site plan submitted
- A professional survey may be required as determined by the Code Enforcement Officer
- Inspections will be done by Code Enforcement Officer after completion of zoning application and all on site requirements

DECKS SHALL NOT BE UTILIZED UNTIL FINAL INSPECTION IS COMPLETE AND CERTIFICATE OF OCCUPANCY IS ISSUED



EXISTING HOUSE WALL

FLASHING BETWEEN HOUSE AND LEDGER BOARD

LEDGER BOARD FASTENED TO HOUSE WITH DECK-LOC SCREWS PER MANUAL

GUARDRAILS WILL BE A MINIMUM OF 36" HIGH (34" ON STEPS)

MAXIMUM OPENING ON GUARDRAILS WILL BE 4"

ALL FRAMING TO BE SYP #2 PRESSURE TREATED WITH COMPOSITE FLOORING

ALL FASTENERS WILL BE SUITABLE FOR ACQ TREATED LUMBER

(2) 2x10 GIRDER

6x6 SYP PRESERVATIVE TREATED POST; TYPICAL OF 6

8" DEEP x 16" WIDE CONCRETE FOOTING AT MIN. ~~36"~~ 42" BELOW FINISHED GRADE



SCALE: 1" = 1'-0"

Table 3. Deck Beam Spans (L_B)¹

| Species | Size | Joist Spans (L_J) Less Than or Equal to: | | | | | | |
|---------------|--------|--|-----------|----------|----------|----------|----------|----------|
| | | 6' | 8' | 10' | 12' | 14' | 16' | 18' |
| Southern Pine | 2-2x6 | 7' - 1" | 6' - 2" | 5' - 6" | 5' - 0" | 4' - 8" | 4' - 4" | 4' - 1" |
| | 2-2x8 | 9' - 2" | 7' - 11" | 7' - 1" | 6' - 6" | 6' - 0" | 5' - 7" | 5' - 3" |
| | 2-2x10 | 11' - 10" | 10' - 3" | 9' - 2" | 8' - 5" | 7' - 9" | 7' - 3" | 6' - 10" |
| | 2-2x12 | 13' - 11" | 12' - 0" | 10' - 9" | 9' - 10" | 9' - 1" | 8' - 6" | 8' - 0" |
| | 3-2x6 | 8' - 7" | 7' - 8" | 6' - 11" | 6' - 3" | 5' - 10" | 5' - 5" | 5' - 2" |
| | 3-2x8 | 11' - 4" | 9' - 11" | 8' - 11" | 8' - 1" | 7' - 6" | 7' - 0" | 6' - 7" |
| | 3-2x10 | 14' - 5" | 12' - 10" | 11' - 6" | 10' - 6" | 9' - 9" | 9' - 1" | 8' - 7" |
| | 3-2x12 | 17' - 5" | 15' - 1" | 13' - 6" | 12' - 4" | 11' - 5" | 10' - 8" | 10' - 1" |

Table 2. Maximum Joist Spans (L_J)¹

| Species | Size | Joist Spacing (o.c.) | | |
|---------------|------|----------------------|----------|----------|
| | | 12" | 16" | 24" |
| Southern Pine | 2x8 | 10' - 6" | 10' - 6" | 10' - 2" |
| | 2x10 | 15' - 2" | 15' - 2" | 13' - 1" |
| | 2x12 | 18' - 0" | 18' - 0" | 15' - 5" |

Figure 8: Post-to-Beam Attachment Requirements

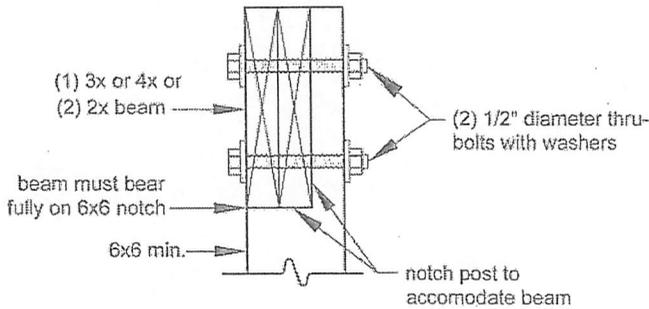


Figure 9: Prohibited Post-to-Beam Attachment Condition

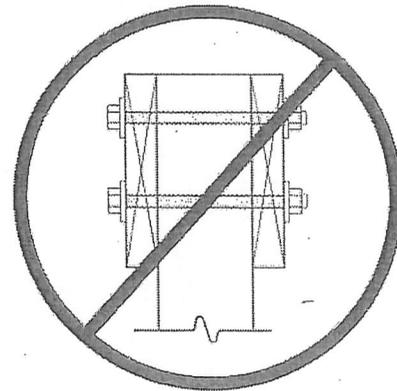


Figure 10: Alternate Approved Post-to-Beam Post Cap Attachment

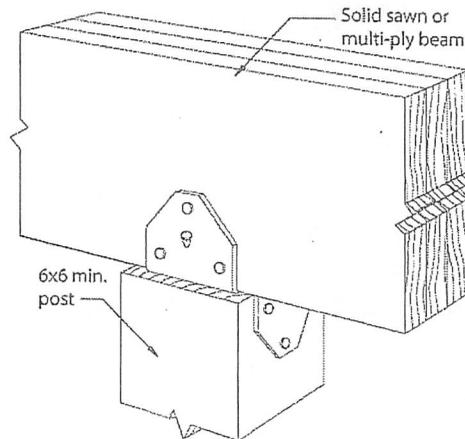


Figure 14: General Attachment of Ledger Board to Band Joist or Rim Board

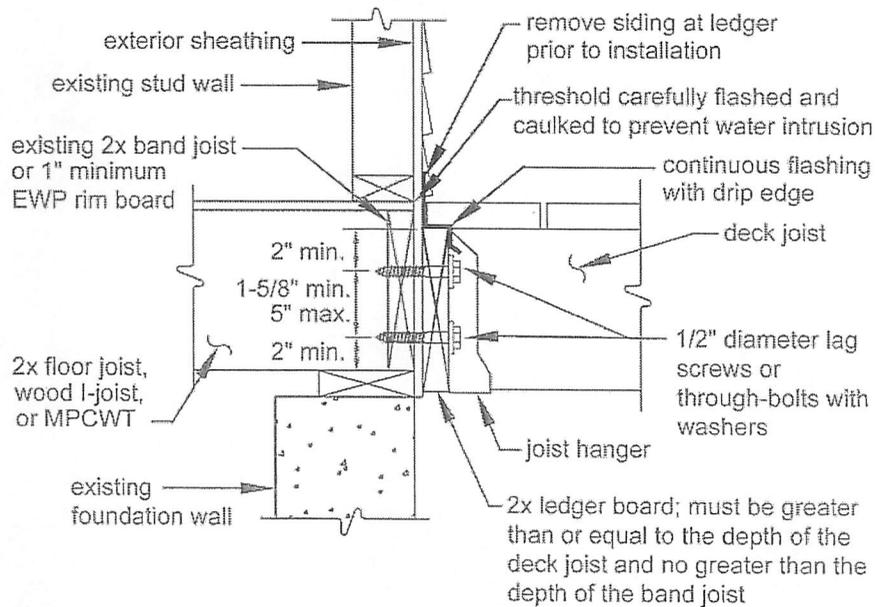


Figure 15: Attachment of Ledger Board to Foundation Wall (Concrete or Solid Masonry)

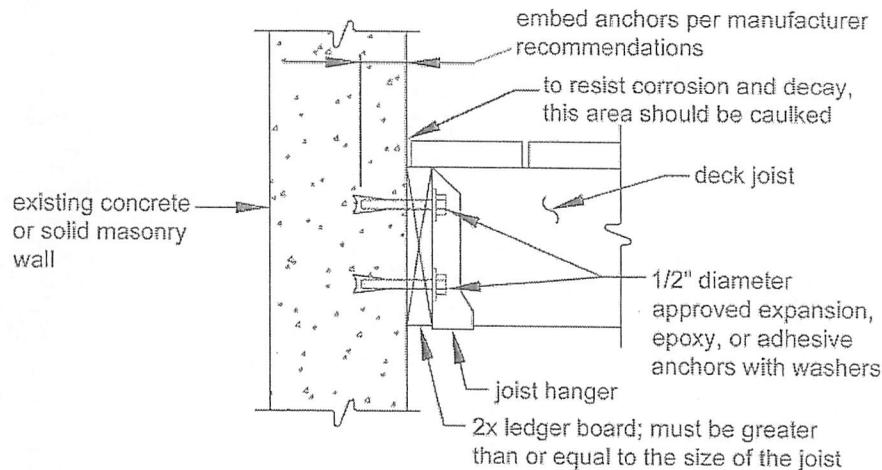


Figure 16: Attachment of Ledger Board to Foundation Wall (Hollow Masonry)

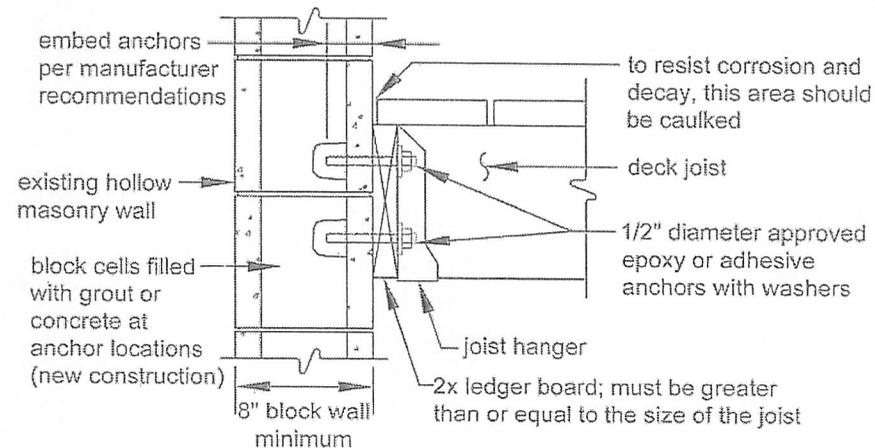
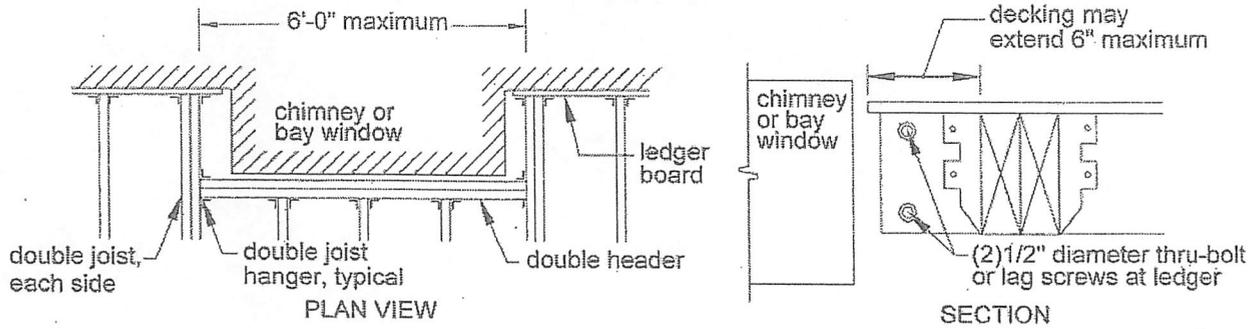


Figure 35: Detail for Framing Around a Chimney or Bay Window



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Figure 17: No Attachment to or Through Exterior Veneers (Brick, Masonry, Stone)

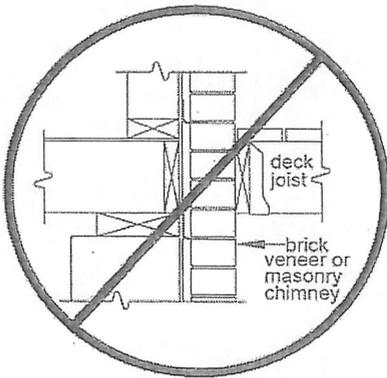
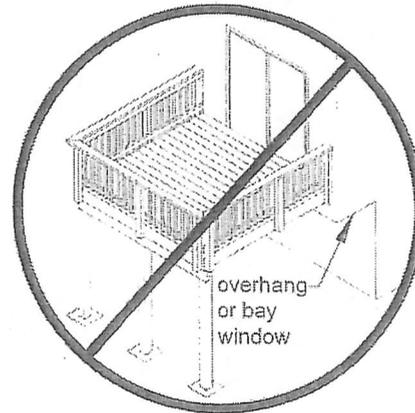


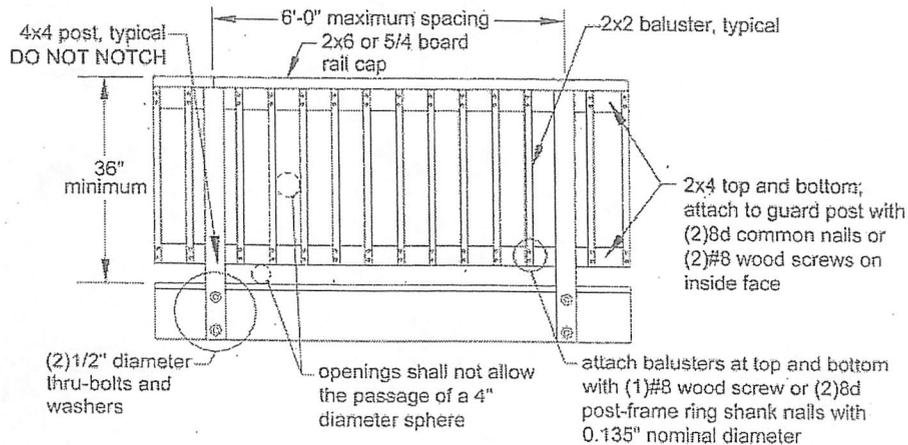
Figure 18: No Attachment to House Overhang



GUARD REQUIREMENTS

All decks greater than 30" above grade are required to have a guard [R312.1] - one example is shown in Figure 24. Other methods and materials may be used for guard construction when approved by the authority having jurisdiction.

Figure 24: Example Guard Detail



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Figure 30: Stair Guard Requirements

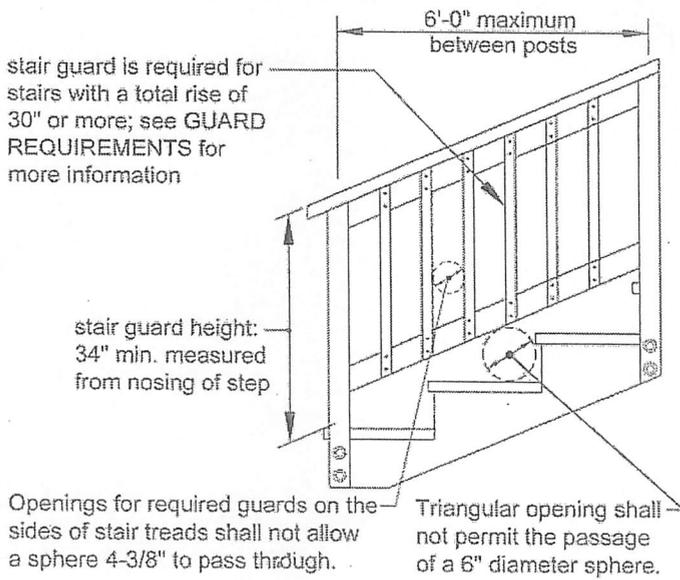
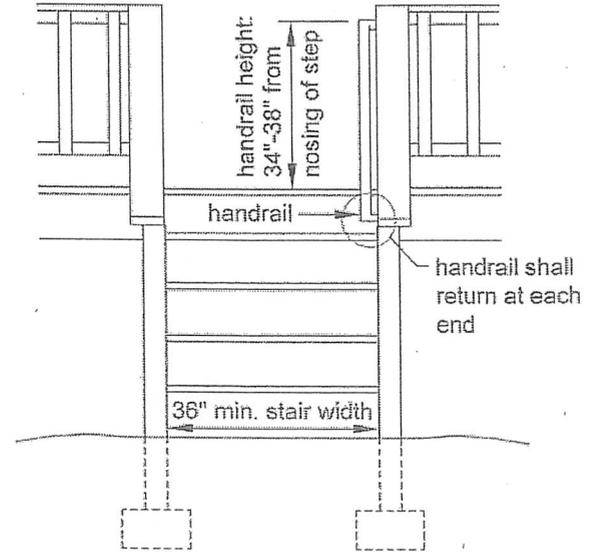


Figure 33: Miscellaneous Stair Requirements



STAIR HANDRAIL REQUIREMENTS

All stairs with 4 or more risers shall have a handrail on at least one side (see Figure 32A) [R311.5.6]. The handrail height measured vertically from the sloped plane adjoining the tread nosing shall be not less than 34 inches and not more than 38 inches (see Figure 30) [R311.5.6.1]. Handrails shall be graspable and shall be composed of decay-resistant and/or corrosion resistant material. Handrails shall be Type I, Type II, or provide equivalent graspability (see Figure 32B). Type I shall

have a perimeter dimension of at least 4" and not greater than 6-1/4". Type II rails with a perimeter greater than 6-1/4" shall provide a graspable finger recess area on both sides of the profile [R311.5.6.3]. All shapes shall have a smooth surface with no sharp corners. Handrails shall run continuously from a point directly over the lowest riser to a point directly over the highest riser and shall return to the guard at each end (see Figure 33). Handrails may be interrupted by guard posts at a turn in the stair [R311.5.6.2].

Figure 32A: Handrail Mounting Examples

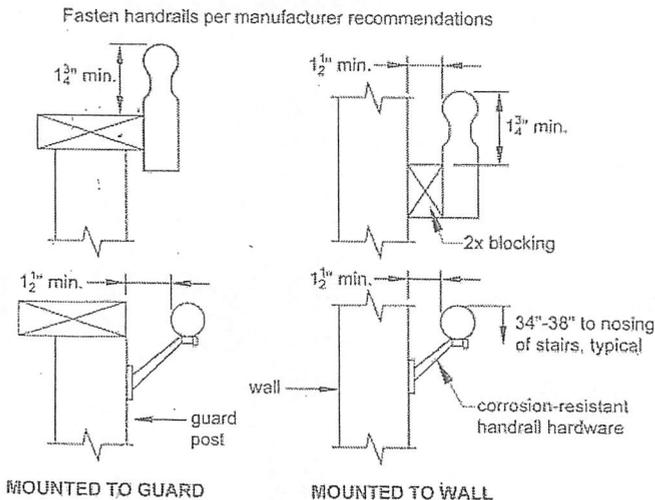


Figure 32B: Handrail Grip Size

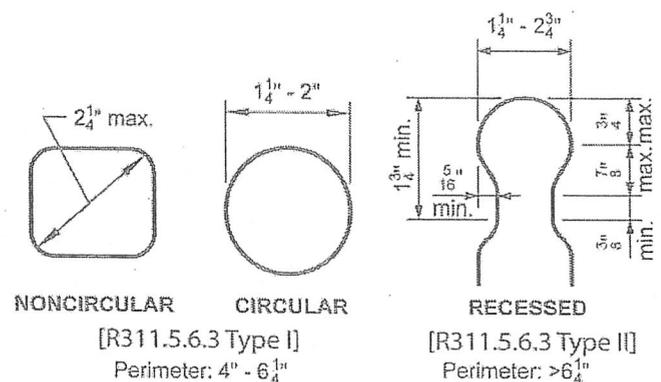


Figure 27: Tread and Riser Detail

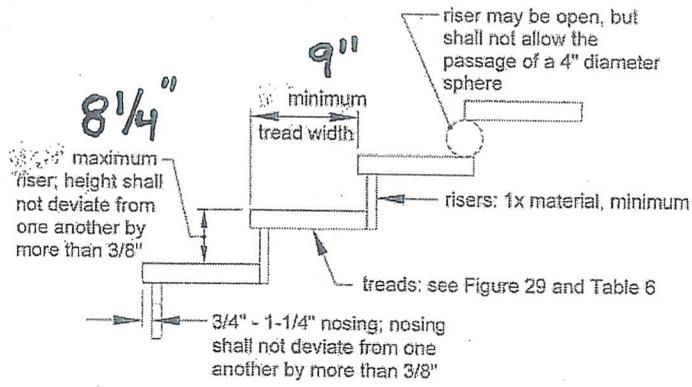


Figure 28: Stair Stringer Requirements

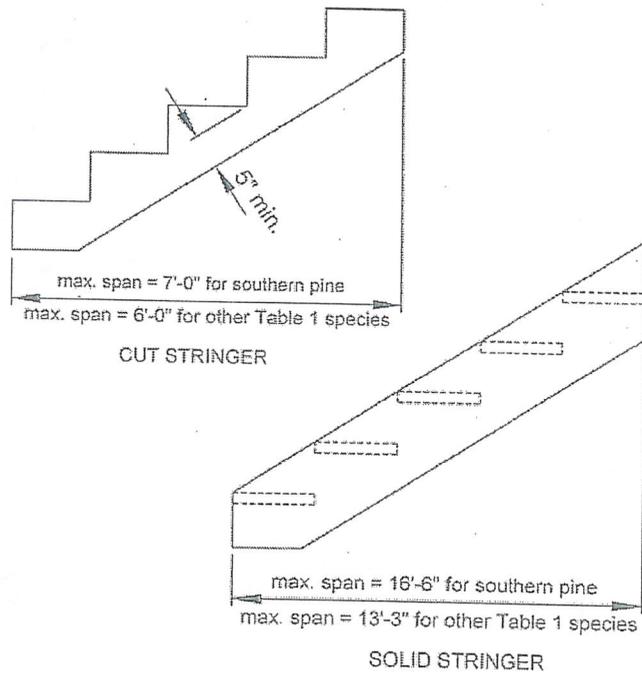


Figure 29: Tread Connection Requirements

Attachment per tread at each stringer or ledger:

- 2x_ or 5/4 treads - (2)8d common nails or (2)#8 screws $\geq 2\frac{1}{2}''$ long
- 3x_ treads - (2)16d common nails or (2)#8 screws $\geq 3\frac{1}{2}''$ long

